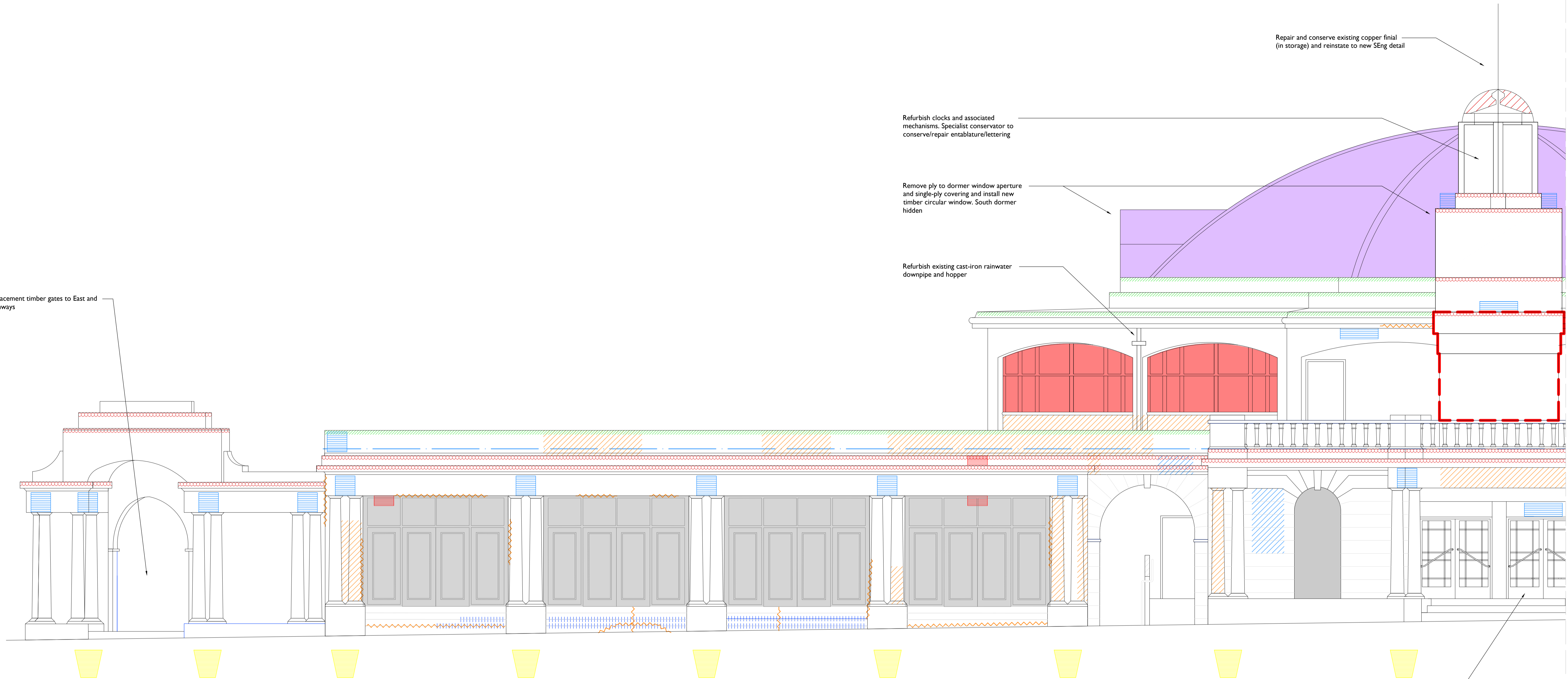


Install replacement timber gates to East and West archways



Repair and conserve existing copper finial (in storage) and reinstate to new SEng detail

Refurbish clocks and associated mechanisms. Specialist conservator to conserve/repair entablature/lettering

Remove ply to dormer window aperture and single-ply covering and install new timber circular window. South dormer hidden

Refurbish existing cast-iron rainwater downpipe and hopper

Allow to refurbish and redecorate existing timber doors and bronze ironmongery

# I South Elevation Repairs I of 2

2150 1:50

## NOTES

### GENERAL

This drawing is to be read in conjunction with the relevant contract preliminaries, drawings, and specifications. For work required, refer to legend for general areas and Structural Engineer's information for all structural and temporary works.

### DETAILS

Where noted and generally, refer also to detail drawings.

### STRUCTURE

Further review of all issues and repairs is required. This information is to be read in conjunction with the Structural Engineer's information and updated as necessary. Where relevant, structural review/repairs are noted but do not replace the structural engineer's review and information.

### LIGHTNING PROTECTION

A new lightning protection system is to be designed and installed by specialist contractor. System to consider the utilisation of the cupola finial and tape runs are to be within the roof building up or continuity maintained between roof sheets.

### ELECTRICAL

Intrusive electrical infrastructure is to be isolated and removed. See MEP engineer's information as to replacement units.

### ROOFING

Allow to remove all single-ply roofing and any latent bituminous covering to dome, dormers, and ribs - structural repairs to dome as SEng information. Roofing to be either zinc (natural finish) or terne-coated stainless steel and is to be confirmed with relevant authorities.

All zinc/terne-coated stainless steel roofing noted to the dome and surrounding upstands is to be strictly as the manufacturer's details. All lead work noted to be replaced is to be done so in strict accordance with the recommendations the Lead Sheet Training Academy guidance and under the terms of the Lead Contractor's Association 25yr guarantee. Leadwork to be a minimum of Code 5 and, where necessary/noted, of increased weight. All leadwork removed remains the property of the employer as NBS H71/586. Should any hotworks be required to implement these works, the contractor must obtain permits from the relevant authorities e.g. Cadw and ACT and comply with any guidance/requirements.

Allowance is to be made to remove temporary plywood and single-ply covering to 4no round-top dormers and install new circular timber windows with double glazed units.

### FINIAL

Damaged finial is stored at the Pavillion. Allow to conserve and repair by specialist contractor and re-instate to cowl to fixing as SEng design.

### TIMBER

All new timber to be hardwood. Species TBC. Where noted, decayed timber to be replaced with new sections of matching profile spliced in to existing members min. 100mm in to sound timber. All timber to be decorated in appropriate finish.

### CLOCK TOWER

Allow to refurbish clock faces and associated mechanisms. Specialist conservator to conserve/repair entablature and lettering.

### CLEANING & DECORATION

Allow to clean concrete to south (front) elevation using TORC technique (to be confirmed by specialist contractor) as a phase of enabling works to allow the full inspection of structural defects. Once repaired to SEng specification, concrete to be decorated in appropriate breathable finish.

### RAINWATER GOODS

Allow to refurbish extant cast-iron hoppers and renew missing cast-iron downpipes with associated swan-necks, joints, brackets, and shoes in Alumasc heritage. Allow for 50% new RWGs in addition to existing provision. Decorate in Rustoleum, colour TBC.

### GATES

Allowance to be made to renew timber gates to East and West archways, approx. 2no each side 1.5x1.8m of 100x100 timber.

### FIXINGS

All new fixings to be Grade 316 stainless steel.

## LEGEND

- New ventilated zinc/terne-coated stainless steel standing seam roofing over void formed by 50x100 battens, breather membrane, and 150mm rigid insulation
- New zinc/terne-coated stainless steel parapet coping/flashing
- New Code 6 lead flashing
- Clerestory windows to auditorium to be inspected, overhauled, repaired and encapsulated in toughened glass within repaired frames - allow 50% new timber and 20% resin repairs. Decorate in microporous finish
- Clean down staining from rainwater and redecorate
- Remove existing masonry paint via appropriate TORC technique (TBC in conjunction with specialist contractor) and investigate concrete spalling/poor quality patch repairs. Carry out localised concrete repairs, apply corrosion inhibitor and repair build-up as recommended in SEng information
- Remove existing fixings/iron stained masonry paint. carry out localised repairs to fixing holes and allow to redecorate
- Hack off render where crazed, renew finish and allow to decorate
- Repair significant crack to masonry in accordance with SEng information and allow to decorate
- Clean down efflorescence, hack off defective render, renew render and allow to decorate
- Remove existing cable tray and bulkhead lighting. Allow to fill any fixing holes and decorate
- Re-route the existing surface mounted cabling to conceal. Remove the existing lighting and replace with new fittings
- Remove existing corroded surface mounted trunking from the cornice and re-route cables accordingly
- Omit repairs to north, east and west elevations in lieu of proposed scheme - these elements are to be demolished.
- Allow for new hardwood joinery with appropriate embellishment (see visualisations to follow) and decorate in microporous stained finish
- Remove existing fencing/ bird wire and make good
- Remove existing spikes
- Allow for 18no. walk over ground recessed LED up-lighters with circular covers
- Code 7 lead cowl

**Notes:** 08/06/2022 18:25:37

Drawings are based on survey data and may not accurately represent what is physically present.

Do not scale from this drawing. All dimensions are to be verified on site before proceeding with the work.

All dimensions are in millimeters unless noted otherwise.

Purcell shall be notified in writing of any discrepancies.

REV	DATE	BY	CHK	DESCRIPTION
P01	09/05/2022			Front Elevation Repairs

CLIENT  
**Awen Cultural Trust**

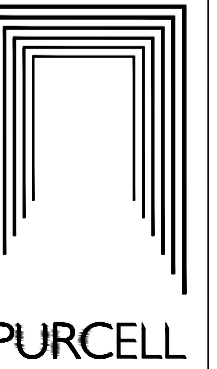
JOB NUMBER PROJECT  
**239541 Grand Pavillion, Porthcawl**

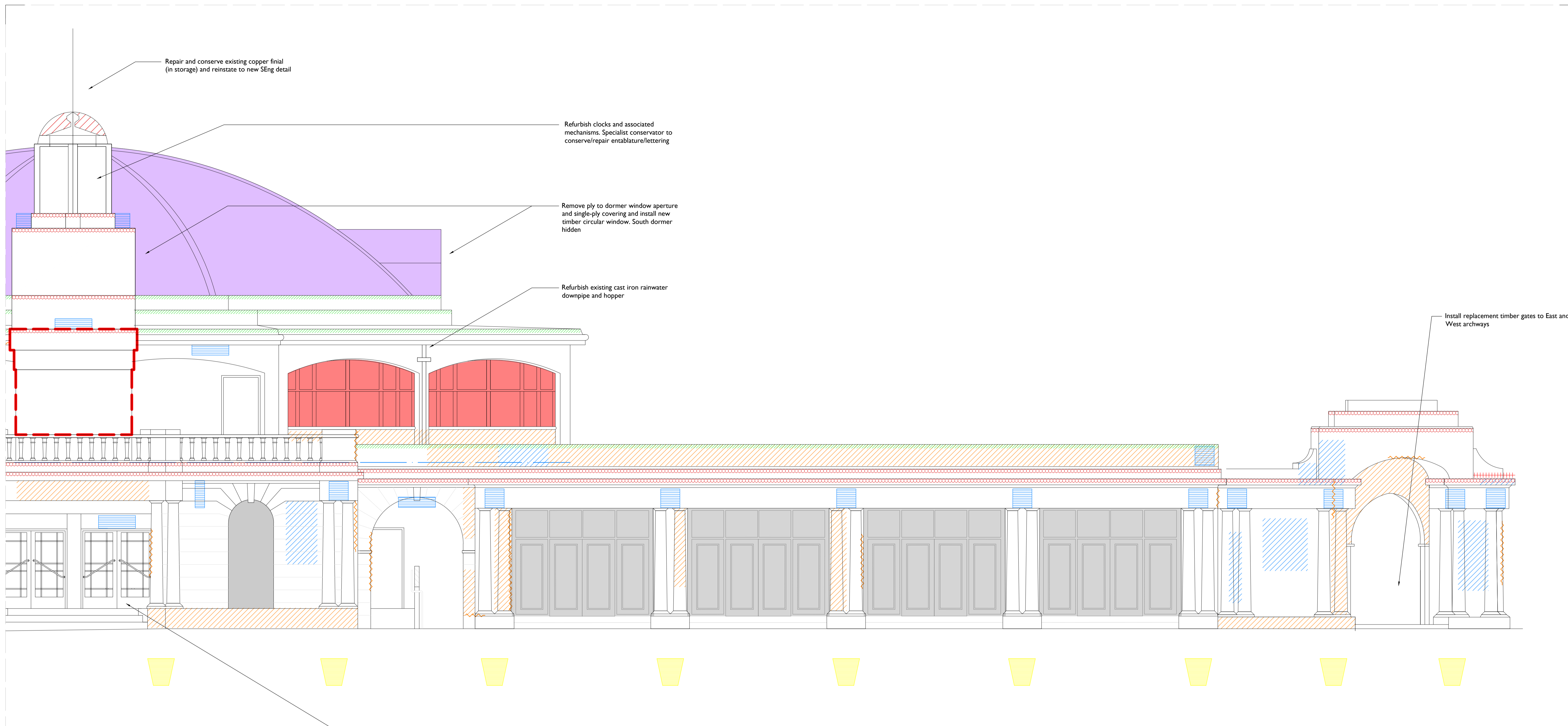
TITLE  
**South Elevation Repairs I of 2**

SIZE SCALE LAST REVISED DRAWN CHECKED  
AIL 1:50 09/05/2022

REV SUITABILITY/REASON FOR ISSUE  
**P01.01 S0 - Work In Progress**

DRAWING NUMBER  
**239541-PUR-01-ZZ-DR-A-2150**





**1** South Elevation Repairs 2 of 2  
**2151** 1:50

**NOTES**

**GENERAL**  
 This drawing is to be read in conjunction with the relevant contract preliminaries, drawings, and specifications. For work required, refer to legend for general areas and Structural Engineer's information for all structural and temporary works.

**DETAILS**  
 Where noted and generally, refer also to detail drawings.

**STRUCTURE**  
 Further review of all issues and repairs is required. This information is to be read in conjunction with the Structural Engineer's information and updated as necessary. Where relevant, structural review/repairs are noted but do not replace the structural engineer's review and information.

**LIGHTNING PROTECTION**  
 A new lightning protection system is to be designed and installed by specialist contractor. System to consider the utilisation of the cupola finial and tape runs are to be within the roof building up or continuity maintained between roof sheets.

**ELECTRICAL**  
 Intrinsic electrical infrastructure is to be isolated and removed. See MEP engineer's information as to replacement units.

**ROOFING**

Allow to remove all single-ply roofing and any latent bituminous covering to dome, dormers, and ribs - structural repairs to dome as SEng information. Roofing to be either zinc (natural finish) or terne-coated stainless steel and is to be confirmed with relevant authorities.

All zinc/terne-coated stainless steel roofing noted to the dome and surrounding upstands is to be strictly as the manufacturer's details. All lead work noted to be replaced is to be done so in strict accordance with the recommendations of the Lead Sheet Training Academy guidance and under the terms of the Lead Contractor's Association 25yr guarantee. Leadwork to be a minimum of Code 5 and, where necessary/noted, of increased weight. All leadwork removed remains the property of the employer as NBS H71/586. Should any hotworks be required to implement these works, the contractor must obtain permits from the relevant authorities e.g. Cadw and ACT and comply with any guidance/requirements.

Allowance is to be made to remove temporary plywood and single-ply covering to 4no round-top dormers and install new circular timber windows with double glazed units.

**FINIAL**  
 Damaged finial is stored at the Pavilion. Allow to conserve and repair by specialist contractor and re-instate to cowl to fixing as SEng design.

**TIMBER**  
 All new timber to be hardwood. Species TBC. Where noted, decayed timber to be replaced with new sections of matching profile spliced in to existing members min. 100mm in to sound timber. All timber to be decorated in appropriate finish.

**CLOCK TOWER**  
 Allow to refurbish clock faces and associated mechanisms. Specialist conservator to conserve/repair entablature and lettering.

**CLEANING & DECORATION**  
 Allow to clean concrete to south (front) elevation using TORC technique (to be confirmed by specialist contractor) as a phase of enabling works to allow the full inspection of structural defects. Once repaired to SEng specification, concrete to be decorated in appropriate breathable finish.

**RAINWATER GOODS**  
 Allow to refurbish extant cast-iron hoppers and renew missing cast-iron downpipes with associated swan-necks, joints, brackets, and shoes in Alumasc heritage. Allow for 50% new RWGs in addition to existing provision. Decorate in Rustoleum, colour TBC.

**GATES**  
 Allowance to be made to renew timber gates to East and West archways, approx. 2no each side 1.5x1.8m of 100x100 timber.

**FIXINGS**  
 All new fixings to be Grade 316 stainless steel.

**LEGEND**

- New ventilated zinc/terne-coated stainless steel standing seam roofing over void formed by 50x100 battens, breather membrane, and 150mm rigid insulation
- New zinc/terne-coated stainless steel parapet coping/flashing
- New Code 6 lead flashing
- Clerestory windows to auditorium to be inspected, overhauled, repaired and encapsulated in toughened glass within repaired frames - allow 50% new timber and 20% resin repairs. Decorate in microporous finish
- Clean down staining from rainwater and redecorate
- Remove existing masonry paint via appropriate TORC technique (TBC in conjunction with specialist contractor) and investigate concrete spalling/poor quality patch repairs. Carry out localised concrete repairs, apply corrosion inhibitor and repair build-up as recommended in SEng information
- Remove existing fixings/iron stained masonry paint. carry out localised repairs to fixing holes and allow to redecorate
- Hack off render where crazed, renew finish and allow to decorate
- Repair significant crack to masonry in accordance with SEng information and allow to decorate
- Clean down efflorescence, hack off defective render, renew render and allow to decorate
- Remove existing cable tray and bulkhead lighting. Allow to fill any fixing holes and decorate
- Re-route the existing surface mounted cabling to conceal. Remove the existing lighting and replace with new fittings
- Remove existing corroded surface mounted trunking from the cornice and re-route cables accordingly
- Omit repairs to north, east and west elevations in lieu of proposed scheme - these elements are to be demolished.
- Allow for new hardwood joinery with appropriate embellishment (see visualisations to follow) and decorate in microporous stained finish
- Remove existing fencing/ bird wire and make good
- Remove existing spikes
- Allow for 18no. walk over ground recessed LED up-lighters with circular covers
- Code 7 lead cowl

**Notes:** 08/06/2022 18:25:53

Drawings are based on survey data and may not accurately represent what is physically present.

Do not scale from this drawing. All dimensions are to be verified on site before proceeding with the work.

All dimensions are in millimeters unless noted otherwise.

Purcell shall be notified in writing of any discrepancies.

REV	DATE	BY	CHK	DESCRIPTION
P01	09/05/2022			Front Elevation Repairs

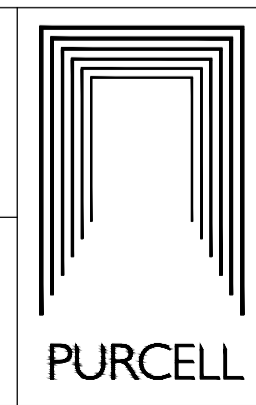
**CLIENT**  
**Awen Cultural Trust**

**JOB NUMBER** 239541  
**PROJECT** Grand Pavillion, Porthcawl

**TITLE**  
**South Elevations Repairs 2 of 2**

**SIZE** A1L  
**SCALE** 1:50  
**LAST REVISED** 09/05/2022  
**DRAWN**  
**CHECKED**

**REV** SUITABILITY/REASON FOR ISSUE  
**P01.01 S0 - Work In Progress**  
**DRAWING NUMBER**  
**239541-PUR-01-ZZ-DR-A-2151**



Remove steel emergency escape

Refurbish existing cast iron rainwater hopper and remove galvanised downpipe and replace in cast iron.

Remove ply to dormer window aperture and single-ply covering and install new timber circular window. North dormer hidden

Remove stainless steel flue

Refurbish existing cast iron rainwater downpipe and hopper (hidden)

Repair and conserve existing copper finial (in storage) and reinstat to new SEng detail

**I** North Elevation Repairs 1 of 2  
**2152** 1:50

**NOTES**

**GENERAL**

This drawing is to be read in conjunction with the relevant contract preliminaries, drawings, and specifications. For work required, refer to legend for general areas and Structural Engineer's information for all structural and temporary works.

**DETAILS**

Where noted and generally, refer also to detail drawings.

**STRUCTURE**

A further review of all issues and repairs is required. This information is to be read in conjunction with the Structural Engineer's information and updated as necessary. Where relevant, structural review/repairs are noted but do not replace the structural engineer's review and information.

**LIGHTNING PROTECTION**

A new lightning protection system is to be designed and installed by specialist contractor. System to consider the utilisation of the cupola finial and tape runs are to be within the roof building up or continuity maintained between roof sheets.

**ELECTRICAL**

Intrusive electrical infrastructure is to be isolated and removed. See MEP engineer's information as to replacement units.

**ROOFING**

Allow to remove all single-ply roofing and any latent bituminous covering to dome, dormers, and ribs - structural repairs to dome as SEng information. Roofing to be either zinc (natural finish) or terne-coated stainless steel and is to be confirmed with relevant authorities.

All zinc/terne-coated stainless steel roofing noted to the dome and surrounding upstands is to be strictly as the manufacturer's details. All lead work noted to be replaced is to be done so in strict accordance with the recommendations the Lead Sheet Training Academy guidance and under the terms of the Lead Contractor's Association 25yr guarantee. Leadwork to be a minimum of Code 5 and, where necessary/noted, of increased weight. All leadwork removed remains the property of the employer as NBS H71/586. Should any hotworks be required to implement these works, the contractor must obtain permits from the relevant authorities e.g. Cadw and ACT and comply with any guidance/requirements.

Allowance is to be made to remove temporary plywood and single-ply covering to 4no round-top dormers and install new circular timber windows with double glazed units.

**FINIAL**

Damaged finial is stored at the Pavilion. Allow to conserve and repair by specialist contractor and re-instate to cowl to fixing as SEng design.

**TIMBER**

All new timber to be hardwood. Species TBC. Where noted, decayed timber to be replaced with new sections of matching profile spliced in to existing members min. 100mm in to sound timber. All timber to be decorated in appropriate finish.

**CLOCK TOWER**

Allow to refurbish clock faces and associated mechanisms. Specialist conservator to conserve/repair entablature and lettering.

**CLEANING & DECORATION**

Allow to clean concrete to south (front) elevation using TORC technique (to be confirmed by specialist contractor) as a phase of enabling works to allow the full inspection of structural defects. Once repaired to SEng specification, concrete to be decorated in appropriate breathable finish.

**RAINWATER GOODS**

Allow to refurbish extant cast-iron hoppers and renew missing cast-iron downpipes with associated swan-necks, joints, brackets, and shoes in Alumasc heritage. Allow for 50% new RWGs in addition to existing provision. Decorate in Rustoleum, colour TBC.



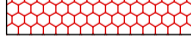



**GATES**









Allowance to be made to renew timber gates to East and West archways, approx. 2no each side 1.5x1.8m of 100x100 timber.




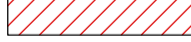

**FIXINGS**

All new fixings to be Grade 316 stainless steel.

**LEGEND**

-  New ventilated zinc/terne-coated stainless steel standing seam roofing over void formed by 50x100 battens, breather membrane, and 150mm rigid insulation
-  New zinc/terne-coated stainless steel parapet coping/flashing
-  New Code 6 lead flashing
-  Clerestory windows to auditorium to be inspected, overhauled, repaired and encapsulated in toughened glass within repaired frames - allow 50% new timber and 20% resin repairs. Decorate in microporous finish
-  Clean down staining from rainwater and redecorate
-  Remove existing masonry paint via appropriate TORC technique (TBC in conjunction with specialist contractor) and investigate concrete spalling/poor quality patch repairs. Carry out localised concrete repairs, apply corrosion inhibitor and repair build-up as recommended in SEng information

-  Remove existing fixings/iron stained masonry paint. carry out localised repairs to fixing holes and allow to redecorate
-  Hack off render where crazed, renew finish and allow to decorate
-  Repair significant crack to masonry in accordance with SEng information and allow to decorate
-  Clean down efflorescence, hack off defective render, renew render and allow to decorate
-  Remove existing cable tray and bulkhead lighting. Allow to fill any fixing holes and decorate
-  Re-route the existing surface mounted cabling to conceal. Remove the existing lighting and replace with new fittings
-  Remove existing corroded surface mounted trunking from the cornice and re-route cables accordingly
-  Omit repairs to north, east and west elevations in lieu of proposed scheme - these elements are to be demolished.

-  Allow for new hardwood joinery with appropriate embellishment (see visualisations to follow) and decorate in microporous stained finish
-  Remove existing fencing/ bird wire and make good
-  Remove existing spikes
-  Allow for 18no. walk over ground recessed LED up-lighters with circular covers
-  Code 7 lead cowl

**Notes:** 08/06/2022 18:28:48

Drawings are based on survey data and may not accurately represent what is physically present.

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All dimensions are in millimeters unless noted otherwise.

Purcell shall be notified in writing of any discrepancies.

REV	DATE	BY	CHK	DESCRIPTION
P01	09/05/2022			Rear Elevation Repairs

CLIENT  
**Awen Cultural Trust**

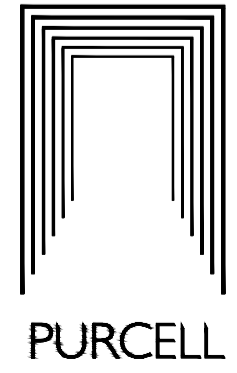
JOB NUMBER PROJECT  
**239541 Grand Pavillion, Porthcawl**

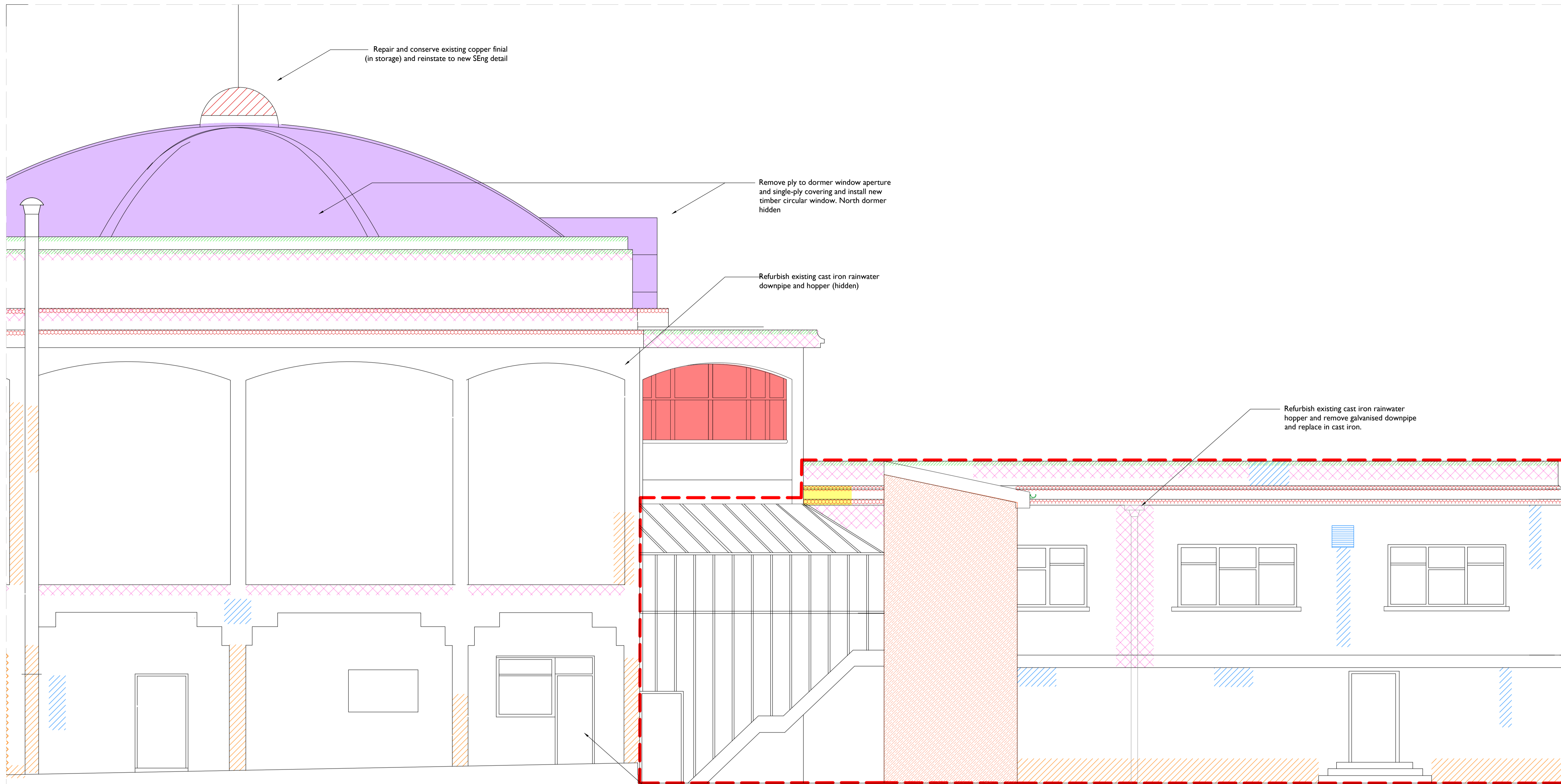
TITLE  
**North Elevation Repairs 1 of 2**

SIZE SCALE LAST REVISED DRAWN CHECKED  
AIL 1:50 09/05/2022

REV SUITABILITY/REASON FOR ISSUE  
**P01.01 S0 - Work In Progress**

DRAWING NUMBER  
**239541-PUR-01-ZZ-DR-A-2152**





Repair and conserve existing copper finial (in storage) and reinststate to new SEng detail

Remove ply to dormer window aperture and single-ply covering and install new timber circular window. North dormer hidden

Refurbish existing cast iron rainwater downpipe and hopper (hidden)

Refurbish existing cast iron rainwater hopper and remove galvanised downpipe and replace in cast iron.

Allow to remove windows and doors and install steel security doors in PPC finish, colour TBC

**I** North Elevation Repairs 2 of 2  
**2153** 1:50

**NOTES**

**GENERAL**

This drawing is to be read in conjunction with the relevant contract preliminaries, drawings, and specifications. For work required, refer to legend for general areas and Structural Engineer's information for all structural and temporary works.

**DETAILS**

Where noted and generally, refer also to detail drawings.

**STRUCTURE**

A new lightning protection system is to be designed and installed by specialist contractor. System to consider the utilisation of the cupola finial and tape runs are to be within the roof building up or continuity maintained between roof sheets.

**LIGHTNING PROTECTION**

A new lightning protection system is to be designed and installed by specialist contractor. System to consider the utilisation of the cupola finial and tape runs are to be within the roof building up or continuity maintained between roof sheets.

**ELECTRICAL**

Intrusive electrical infrastructure is to be isolated and removed. See MEP engineer's information as to replacement units.

**ROOFING**

Allow to remove all single-ply roofing and any latent bituminous covering to dome, dormers, and ribs - structural repairs to dome as SEng information. Roofing to be either zinc (natural finish) or terne-coated stainless steel and is to be confirmed with relevant authorities.

All zinc/terne-coated stainless steel roofing noted to the dome and surrounding upstands is to be strictly as the manufacturer's details. All lead work noted to be replaced is to be done so in strict accordance with the recommendations the Lead Sheet Training Academy guidance and under the terms of the Lead Contractor's Association 25yr guarantee. Leadwork to be a minimum of Code 5 and, where necessary/noted, of increased weight. All leadwork removed remains the property of the employer as NBS H71/586. Should any hotworks be required to implement these works, the contractor must obtain permits from the relevant authorities e.g. Cadw and ACT and comply with any guidance/requirements.

Allowance is to be made to remove temporary plywood and single-ply covering to 4no round-top dormers and install new circular timber windows with double glazed units.

FINIAL  
Damaged finial is stored at the Pavilion. Allow to conserve and repair by specialist contractor and re-instate to cowl to fixing as SEng design.

TIMBER  
All new timber to be hardwood. Species TBC. Where noted, decayed timber to be replaced with new sections of matching profile spliced in to existing members min. 100mm in to sound timber. All timber to be decorated in appropriate finish.

**CLOCK TOWER**

Allow to refurbish clock faces and associated mechanisms. Specialist conservator to conserve/repair entablature and lettering.

**CLEANING & DECORATION**

Allow to clean concrete to south (front) elevation using TORC technique (to be confirmed by specialist contractor) as a phase of enabling works to allow the full inspection of structural defects. Once repaired to SEng specification, concrete to be decorated in appropriate breathable finish.

**RAINWATER GOODS**

Allow to refurbish extant cast-iron hoppers and renew missing cast-iron downpipes with associated swan-necks, joints, brackets, and shoes in Alumasc heritage. Allow for 50% new RWGs in addition to existing provision. Decorate in Russoleum, colour TBC.

**GATES**

Allowance to be made to renew timber gates to East and West archways, approx. 2no each side 1.5x1.8m of 100x100 timber.

**FIXINGS**

All new fixings to be Grade 316 stainless steel.

**LEGEND**

- New ventilated zinc/terne-coated stainless steel standing seam roofing over void formed by 50x100 battens, breather membrane, and 150mm rigid insulation
- New zinc/terne-coated stainless steel parapet coping/flashing
- New Code 6 lead flashing
- Clerestory windows to auditorium to be inspected, overhauled, repaired and encapsulated in toughened glass within repaired frames - allow 50% new timber and 20% resin repairs. Decorate in microporous finish
- Clean down staining from rainwater and redecorate
- Remove existing masonry paint via appropriate TORC technique (TBC in conjunction with specialist contractor) and investigate concrete spalling/poor quality patch repairs. Carry out localised concrete repairs, apply corrosion inhibitor and repair build-up as recommended in SEng information

- Remove existing fixings/iron stained masonry paint. carry out localised repairs to fixing holes and allow to redecorate
- Hack off render where crazed, renew finish and allow to decorate
- Repair significant crack to masonry in accordance with SEng information and allow to decorate
- Clean down efflorescence, hack off defective render, renew render and allow to decorate
- Remove existing cable tray and bulkhead lighting. Allow to fill any fixing holes and decorate
- Re-route the existing surface mounted cabling to conceal. Remove the existing lighting and replace with new fittings
- Remove existing corroded surface mounted trunking from the cornice and re-route cables accordingly
- Omit repairs to north, east and west elevations in lieu of proposed scheme - these elements are to be demolished.

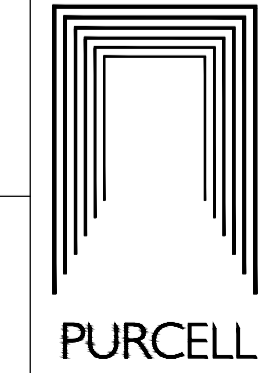
- Allow for new hardwood joinery with appropriate embellishment (see visualisations to follow) and decorate in microporous stained finish
- Remove existing fencing/ bird wire and make good
- Remove existing spikes
- Allow for 18no. walk over ground recessed LED up-lighters with circular covers
- Code 7 lead cowl

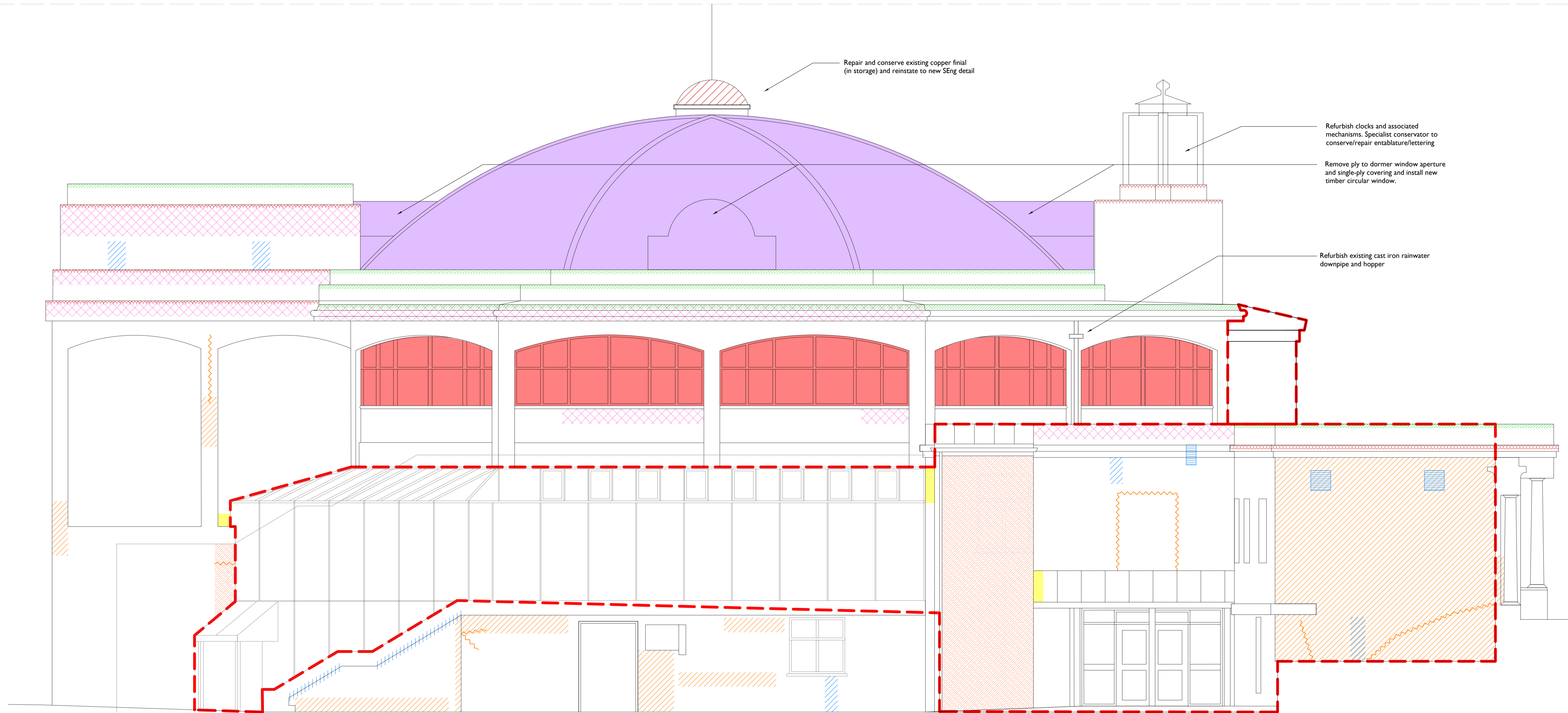
**Notes:** 08/06/2022 18:26:14  
Drawings are based on survey data and may not accurately represent what is physically present.  
Do not scale from this drawing. All dimensions are to be verified on site before proceeding with the work.  
All dimensions are in millimeters unless noted otherwise.  
Purcell shall be notified in writing of any discrepancies.

REV	DATE	BY	CHK	DESCRIPTION
P01	09/05/2022			Rear Elevation Repairs

CLIENT  
**Awen Cultural Trust**  
JOB NUMBER  
**239541**  
PROJECT  
**Grand Pavillion, Porthcawl**  
TITLE  
**North Elevation Repairs 2 of 2**

SIZE SCALE LAST REVISED DRAWN CHECKED  
AIL 1:50 09/05/2022  
REV SUITABILITY/REASON FOR ISSUE  
**P01.01 S0 - Work In Progress**  
DRAWING NUMBER  
**239541-PUR-01-ZZ-DR-A-2153**





Repair and conserve existing copper finial (in storage) and reinstate to new SEng detail

Refurbish clocks and associated mechanisms. Specialist conservator to conserve/repair entablature/lettering

Remove ply to dormer window aperture and single-ply covering and install new timber circular window.

Refurbish existing cast iron rainwater downpipe and hopper

**I East Elevation Repairs**  
2154 1:50

**NOTES**

**GENERAL**

This drawing is to be read in conjunction with the relevant contract preliminaries, drawings, and specifications. For work required, refer to legend for general areas and Structural Engineer's information for all structural and temporary works.

**DETAILS**

Where noted and generally, refer also to detail drawings.

**STRUCTURE**

Further review of all issues and repairs is required. This information is to be read in conjunction with the Structural Engineer's information and updated as necessary. Where relevant, structural review/repairs are noted but do not replace the structural engineer's review and information.

**LIGHTNING PROTECTION**

A new lightning protection system is to be designed and installed by specialist contractor. System to consider the utilisation of the cupola finial and tape runs are to be within the roof building up or continuity maintained between roof sheets.

**ELECTRICAL**

Intrusive electrical infrastructure is to be isolated and removed. See MEP engineer's information as to replacement units.

**ROOFING**

Allow to remove all single-ply roofing and any latent bituminous covering to dome, dormers, and ribs - structural repairs to dome as SEng information. Roofing to be either zinc (natural finish) or terne-coated stainless steel and is to be confirmed with relevant authorities.

All zinc/terne-coated stainless steel roofing noted to the dome and surrounding upstands is to be strictly as the manufacturer's details. All lead work noted to be replaced is to be done so in strict accordance with the recommendations the Lead Sheet Training Academy guidance and under the terms of the Lead Contractor's Association 25yr guarantee. Leadwork to be a minimum of Code 5 and, where necessary/noted, of increased weight. All leadwork removed remains the property of the employer as NBS H71/586. Should any hotworks be required to implement these works, the contractor must obtain permits from the relevant authorities e.g. Cadw and ACT and comply with any guidance/requirements.

Allowance is to be made to remove temporary plywood and single-ply covering to 4no round-top dormers and install new circular timber windows with double glazed units.

FINAL Damaged finial is stored at the Pavilion. Allow to conserve and repair by specialist contractor and re-instate to cowl to fixing as SEng design.

TIMBER All new timber to be hardwood. Species TBC. Where noted, decayed timber to be replaced with new sections of matching profile spliced in to existing members min. 100mm in to sound timber. All timber to be decorated in appropriate finish.

**CLOCK TOWER**  
Allow to refurbish clock faces and associated mechanisms. Specialist conservator to conserve/repair entablature and lettering.

**CLEANING & DECORATION**  
Allow to clean concrete to south (front) elevation using TORC technique (to be confirmed by specialist contractor) as a phase of enabling works to allow the full inspection of structural defects. Once repaired to SEng specification, concrete to be decorated in appropriate breathable finish.

**RAINWATER GOODS**  
Allow to refurbish extant cast-iron hoppers and renew missing cast-iron downpipes with associated swan-necks, joints, brackets, and shoes in Alumasc heritage. Allow for 50% new RWGs in addition to existing provision. Decorate in Rustoleum, colour TBC.

**GATES**  
Allowance to be made to renew timber gates to East and West archways, approx. 2no each side 1.5x1.8m of 100x100 timber.

**FIXINGS**  
All new fixings to be Grade 316 stainless steel.

**LEGEND**

- New ventilated zinc/terne-coated stainless steel standing seam roofing over void formed by 50x100 battens, breather membrane, and 150mm rigid insulation
- New zinc/terne-coated stainless steel parapet coping/flashing
- New Code 6 lead flashing
- Clerestory windows to auditorium to be inspected, overhauled, repaired and encapsulated in toughened glass within repaired frames - allow 50% new timber and 20% resin repairs. Decorate in microporous finish
- Clean down staining from rainwater and redecorate
- Remove existing masonry paint via appropriate TORC technique (TBC in conjunction with specialist contractor) and investigate concrete spalling/poor quality patch repairs. Carry out localised concrete repairs, apply corrosion inhibitor and repair build-up as recommended in SEng information
- Remove existing fixings/iron stained masonry paint. carry out localised repairs to fixing holes and allow to redecorate
- Hack off render where crazed, renew finish and allow to decorate
- Repair significant crack to masonry in accordance with SEng information and allow to decorate
- Clean down efflorescence, hack off defective render, renew render and allow to decorate
- Remove existing cable tray and bulkhead lighting. Allow to fill any fixing holes and decorate
- Re-route the existing surface mounted cabling to conceal. Remove the existing lighting and replace with new fittings
- Remove existing corroded surface mounted trunking from the cornice and re-route cables accordingly
- Omit repairs to north, east and west elevations in lieu of proposed scheme - these elements are to be demolished.
- Allow for new hardwood joinery with appropriate embellishment (see visualisations to follow) and decorate in microporous stained finish
- Remove existing fencing/ bird wire and make good
- Remove existing spikes
- Allow for 18no. walk over ground recessed LED up-lighters with circular covers
- Code 7 lead cowl

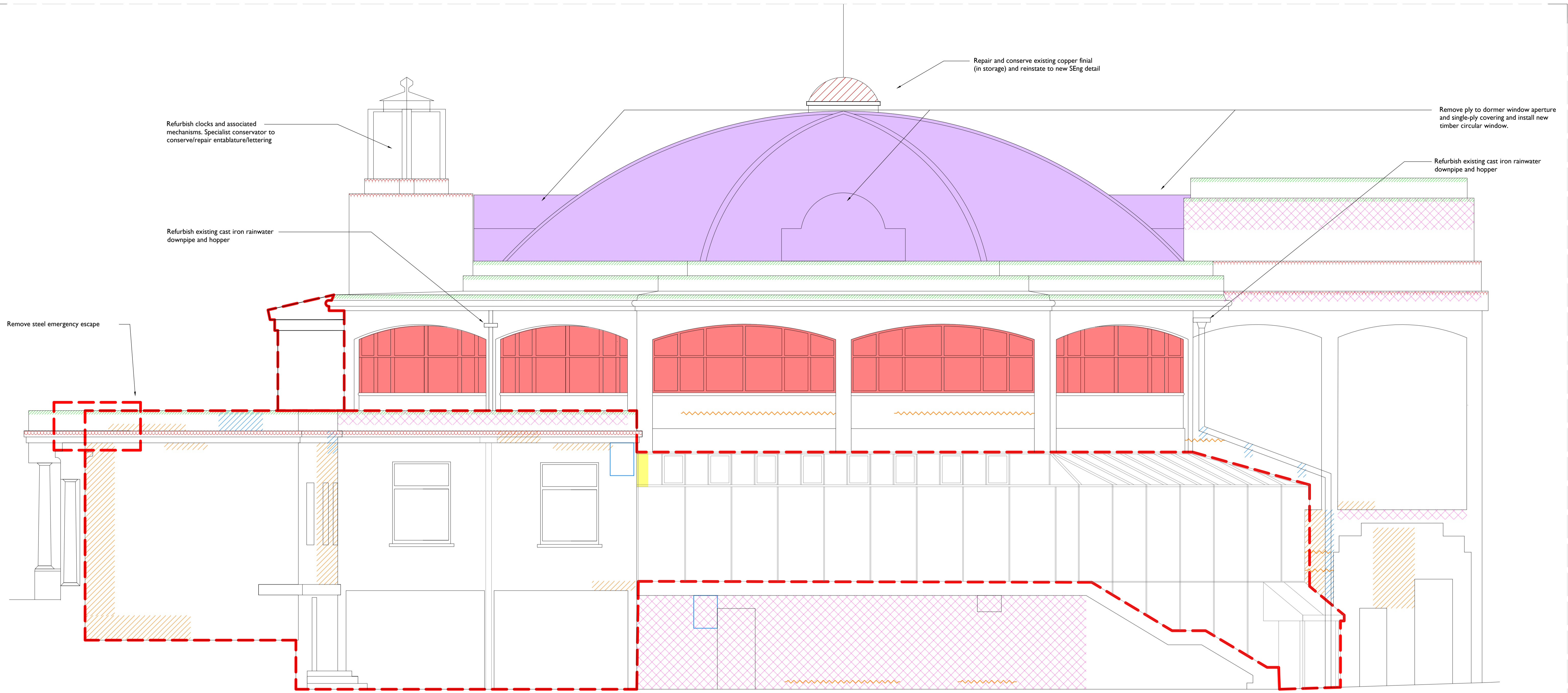
**Notes:** 08/06/2022 18:26:27  
Drawings are based on survey data and may not accurately represent what is physically present.  
Do not scale from this drawing. All dimensions are to be verified on site before proceeding with the work.  
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REV	DATE	BY	CHK	DESCRIPTION
P01	09/05/2022			East Elevation Repairs

CLIENT	
<b>Awen Cultural Trust</b>	PROJECT
<b>239541</b>	<b>Grand Pavillion, Porthcawl</b>
TITLE	
<b>East Elevation Repairs</b>	

SIZE	SCALE	LAST REVISED	DRAWN	CHECKED
AIL	1:50	09/05/2022		
REV SUITABILITY/REASON FOR ISSUE				
<b>P01.01 S0 - Work In Progress</b>				
DRAWING NUMBER				
<b>239541-PUR-01-ZZ-DR-A-2154</b>				

Old Police Station, 6 St Peter's Court, Bedminster Parade, BS3 4AQ  
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Refurbish clocks and associated mechanisms. Specialist conservator to conserve/repair entablature/lettering

Refurbish existing cast iron rainwater downpipe and hopper

Remove steel emergency escape

Repair and conserve existing copper finial (in storage) and reinstate to new SEng detail

Remove ply to dormer window aperture and single-ply covering and install new timber circular window.

Refurbish existing cast iron rainwater downpipe and hopper

**I West Elevation Repairs**  
2155 1:50

**NOTES**

**GENERAL**

This drawing is to be read in conjunction with the relevant contract preliminaries, drawings, and specifications. For work required, refer to legend for general areas and Structural Engineer's information for all structural and temporary works.

**DETAILS**

Where noted and generally, refer also to detail drawings.

**STRUCTURE**

Further review of all issues and repairs is required. This information is to be read in conjunction with the Structural Engineer's information and updated as necessary. Where relevant, structural review/repairs are noted but do not replace the structural engineer's review and information.

**LIGHTNING PROTECTION**

A new lightning protection system is to be designed and installed by specialist contractor. System to consider the utilisation of the cupola finial and tape runs are to be within the roof building up or continuity maintained between roof sheets.

**ELECTRICAL**

Intrusive electrical infrastructure is to be isolated and removed. See MEP engineer's information as to replacement units.

**ROOFING**

Allow to remove all single-ply roofing and any latent bituminous covering to dome, dormers, and ribs - structural repairs to dome as SEng information. Roofing to be either zinc (natural finish) or terne-coated stainless steel and is to be confirmed with relevant authorities.

All zinc/terne-coated stainless steel roofing noted to the dome and surrounding upstands is to be strictly as the manufacturer's details. All lead work noted to be replaced is to be done so in strict accordance with the recommendations of the Lead Sheet Training Academy guidance and under the terms of the Lead Contractor's Association 25yr guarantee. Leadwork to be a minimum of Code 5 and, where necessary/noted, of increased weight. All leadwork removed remains the property of the employer as NBS H71/586. Should any hotworks be required to implement these works, the contractor must obtain permits from the relevant authorities e.g. Cadw and ACT and comply with any guidance/requirements.

Allowance is to be made to remove temporary plywood and single-ply covering to 4no round-top dormers and install new circular timber windows with double glazed units.

FINIAL Damaged finial is stored at the Pavilion. Allow to conserve and repair by specialist contractor and re-instate to cowl to fixing as SEng design.

TIMBER All new timber to be hardwood. Species TBC. Where noted, decayed timber to be replaced with new sections of matching profile spliced in to existing members min. 100mm in to sound timber. All timber to be decorated in appropriate finish.

**CLOCK TOWER**

Allow to refurbish clock faces and associated mechanisms. Specialist conservator to conserve/repair entablature and lettering.

**CLEANING & DECORATION**

Allow to clean concrete to south (front) elevation using TORC technique (to be confirmed by specialist contractor) as a phase of enabling works to allow the full inspection of structural defects. Once repaired to SEng specification, concrete to be decorated in appropriate breathable finish.

**RAINWATER GOODS**

Allow to refurbish extant cast-iron hoppers and renew missing cast-iron downpipes with associated swan-necks, joints, brackets, and shoes in Alumasc heritage. Allow for 50% new RWGs in addition to existing provision. Decorate in Rustoleum, colour TBC.

**GATES**

Allowance to be made to renew timber gates to East and West archways, approx. 2no each side 1.5x1.8m of 100x100 timber.

**FIXINGS**

All new fixings to be Grade 316 stainless steel.

**LEGEND**

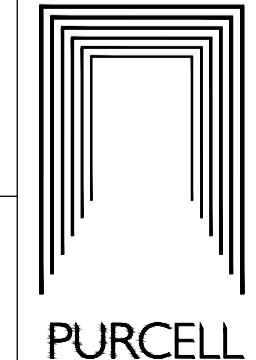
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- Omit repairs to north, east and west elevations in lieu of proposed scheme - these elements are to be demolished.
- Allow for new hardwood joinery with appropriate embellishment (see visualisations to follow) and decorate in microporous stained finish
- Remove existing fencing/ bird wire and make good
- Remove existing spikes
- Allow for 18no. walk over ground recessed LED up-lighters with circular covers
- Code 7 lead cowl

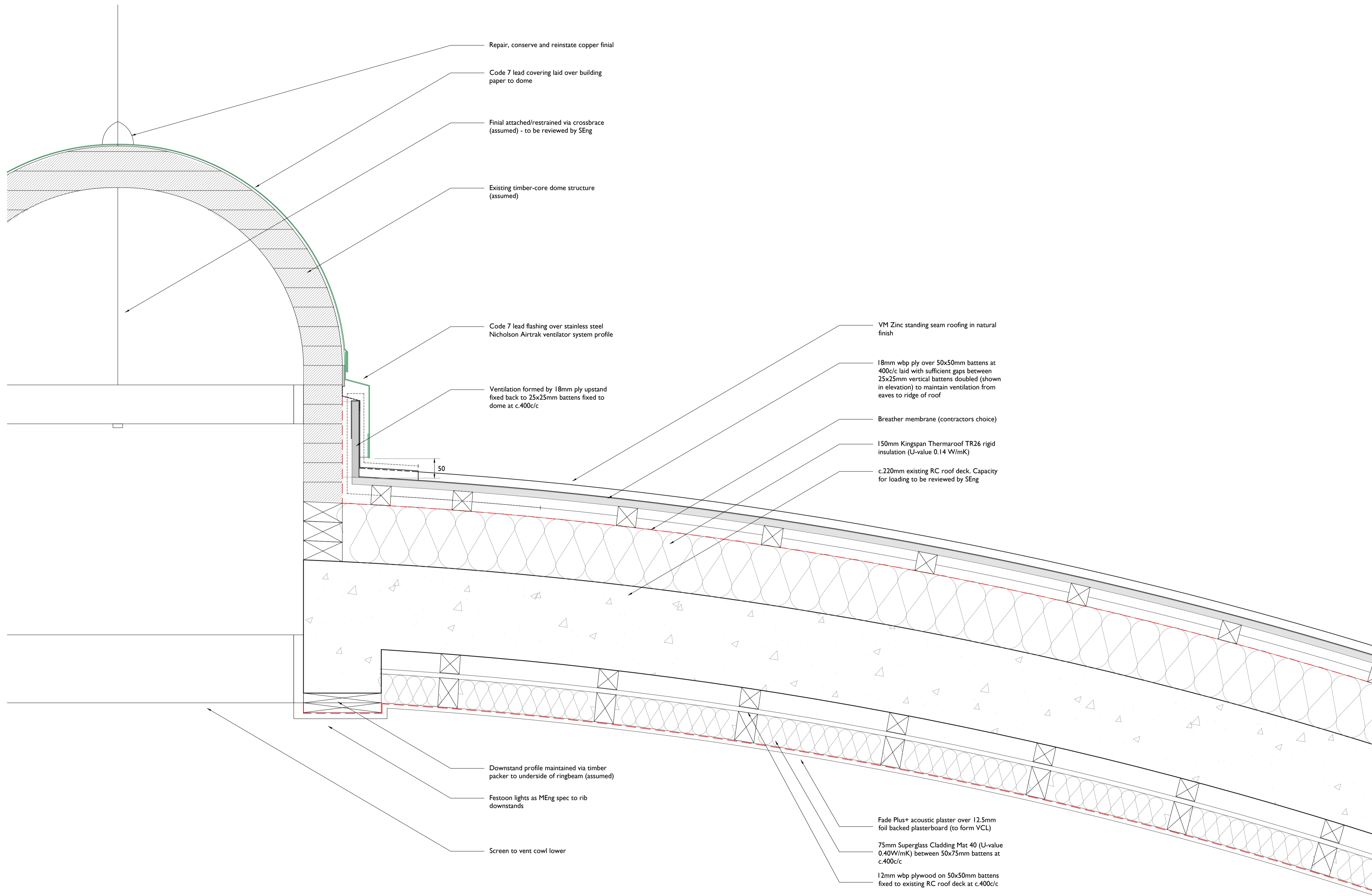
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REV	DATE	BY	CHK	DESCRIPTION
PO1	09/05/2022			

CLIENT  
**Awen Cultural Trust**  
JOB NUMBER  
**239541**  
PROJECT  
**Grand Pavillion, Porthcawl**  
TITLE  
**West Elevation Repairs**

SIZE SCALE LAST REVISED DRAWN CHECKED  
AIL 1:50 09/05/2022  
REV SUITABILITY/REASON FOR ISSUE  
**P01.01 S0 - Work In Progress**  
DRAWING NUMBER  
**239541-PUR-01-ZZ-DR-A-2155**





Repair, conserve and reinstate copper finial

Code 7 lead covering laid over building paper to dome

Finial attached/restrained via crossbrace (assumed) - to be reviewed by SEng

Existing timber-core dome structure (assumed)

Code 7 lead flashing over stainless steel Nicholson Airtrak ventilator system profile

Ventilation formed by 18mm ply upstand fixed back to 25x25mm battens fixed to dome at c.400c/c

VM Zinc standing seam roofing in natural finish

18mm wbp ply over 50x50mm battens at 400c/c laid with sufficient gaps between 25x25mm vertical battens doubled (shown in elevation) to maintain ventilation from eaves to ridge of roof

Breather membrane (contractors choice)

150mm Kingspan Thermaroof TR26 rigid insulation (U-value 0.14 W/mK)

c.220mm existing RC roof deck. Capacity for loading to be reviewed by SEng

Downstand profile maintained via timber packer to underside of ringbeam (assumed)

Festoon lights as MEng spec to rib downstands

Screen to vent cowl lower

Fade Plus+ acoustic plaster over 12.5mm foil backed plasterboard (to form VCL)

75mm Superglass Cladding Mat 40 (U-value 0.40W/mK) between 50x75mm battens at c.400c/c

12mm wbp plywood on 50x50mm battens fixed to existing RC roof deck at c.400c/c

**PRELIMINARY**  
 & SUBJECT TO FURTHER INVESTIGATIONS  
 & REVIEW WITH STRUCTURAL  
 ENGINEER'S DETAILS

**01** Roof Section Detail 01  
**5680** 1:5

**Notes:** 08/06/2022 18:46:44

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**NOTES**

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**DETAILS**  
 Where noted and generally, refer also to detail drawings.

**STRUCTURE**  
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**LIGHTNING PROTECTION**  
 A new lightning protection system is to be designed and installed by specialist contractor. System to consider the utilisation of the cupola finial and tape runs are to be within the roof building up or continuity maintained between roof sheets.

**ROOFING**  
 Roofing to be either zinc (natural finish) or terne-coated stainless steel and is to be confirmed with relevant authorities.

All zinc/terne-coated stainless steel roofing noted to the dome and surrounding upstands is to be strictly as the manufacturer's details. All lead work noted to be replaced is to be done so in strict accordance with the recommendations the Lead Sheet Training Academy guidance and under the terms of the Lead

Contractor's Association 25yr guarantee.

Leadwork to be a minimum of Code 5 and, where necessary/noted, of increased weight. All leadwork removed remains the property of the employer as NBS H71/586.

Should any hotworks be required to implement these works, the contractor must obtain permits from the relevant authorities e.g. Cadw and ACT and comply with any guidance/requirements.

**FIXINGS**  
 All new fixings to be Grade 316 stainless steel.

POI	DATE	BY	CHK	DESCRIPTION
PO1	01/06/2022	-		
REV	DATE	BY	CHK	DESCRIPTION

**CLIENT**  
**Awen Cultural Trust**

**JOB NUMBER** 239541  
**PROJECT** Grand Pavillion, Porthcawl

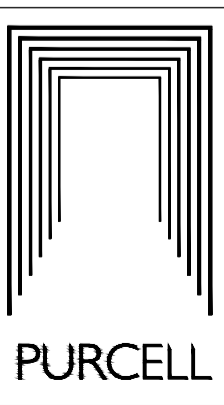
**TITLE**  
**Roof Detail 01**  
**Proposed**

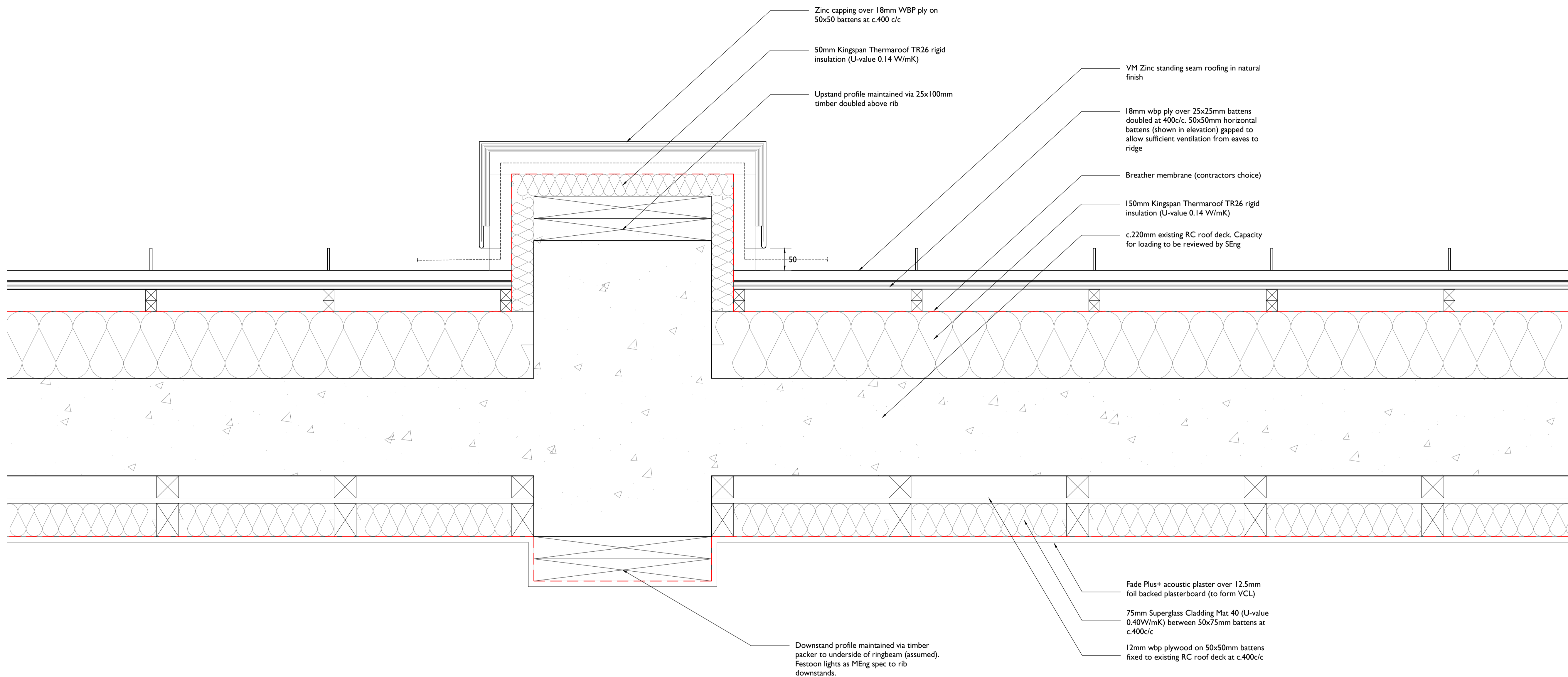
SIZE	SCALE	LAST REVISED	DRAWN	CHECKED
AIL		01/06/2022		

**REV** SUITABILITY/REASON FOR ISSUE

**P01.01 S0 - Work In Progress**

**DRAWING NUMBER**  
**239541-PUR-01-RF-DR-A-5680**





**I** Roof Section Detail 03  
**5682** 1:5

**PRELIMINARY**  
 & SUBJECT TO FURTHER INVESTIGATIONS  
 & REVIEW WITH STRUCTURAL  
 ENGINEER'S DETAILS

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**DETAILS**  
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**STRUCTURE**  
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**LIGHTNING PROTECTION**  
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**ROOFING**  
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**FIXINGS**  
 All new fixings to be Grade 316 stainless steel.

REV	DATE	BY	CHK	DESCRIPTION
P01	06/06/2022	-	-	-

**CLIENT**  
**Awen Cultural Trust**  
 JOB NUMBER PROJECT  
**239541 Grand Pavillion, Porthcawl**  
**TITLE**  
**Roof Detail 03**  
**Proposed**

SIZE SCALE LAST REVISED DRAWN CHECKED  
 AIL 06/06/2022  
 REV SUITABILITY/REASON FOR ISSUE  
**P01.01 S0 - Work In Progress**  
 DRAWING NUMBER  
**239541-PUR-01-RF-DR-A-5682**

