

Structural Engineer's information for all structural and temporary works.

DETAILS

STRUCTURE

relevant, structural review/repairs are noted but do not replace the structural engineer's review and information.

roof building up or continuity maintained between roof sheets.

information as to replacement units. ROOFING

Notes:	08/06/2022 18:25:37
Drawings are based on survey data and n is physically present.	nay not accurately represent what
Do not scale from this drawing. All dimen before proceeding with the work.	nsions are to be verified on site
All dimensions are in millimeters unless r	noted otherwise.
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Specialist conservator to ORC technique (to be works to allow the full ecification, concrete to be ssing cast-iron downpipes with asc heritage. Allow for 50% Rustoleum, colour TBC. West archways, approx. 2no	New ventilated zinc/terne-coated stainless steel standing seam roofing over void formed by 50x100 battens, breather membrane, and 150mm rigid insulation New zinc/terne-coated stainless steel parapet coping/flashing New Code 6 lead flashing Clerestorey windows to auditorium to be inspected, overhauled, repaired and encapsulated in toughened glas within repaired frames - allow 50% new timber and 20% resin repairs. Decorate in microporous finish Clean down staining from rainwater and redecorate Remove existing masonry paint via appropriate TORC technique (TBC in conjunction with specialist contractor and investigate concrete spalling/poor quality patch repairs. Carry out localised concrete repairs, apply corrosion inhibitor and repair build-up as recommended in SEng information	Remove existing fixings/iron stained ma out localised repairs to fixing holes and redecorate Hack off render where crazed, renew f decorate Repair significant crack to masonry in a SEng information and allow to decorate Clean down effloressence, hack off defe renew render and allow to decorate Remove existing cable tray and bulkhea to fill any fixing holes and decorate Re-route the existing surface mounted Remove the existing lighting and replace Remove existing corroded surface mou from the cornice and re-route cables a Omit repairs to north, east and west e proposed scheme - these elements are	d allow to finish and allow to accordance with e fective render, ad lighting. Allow d cabling to conceal. ce with new fittings unted trunking accordingly elevations in lieu of		Allov emb in mi Rem Allov up-lig
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					Awen Cult	tural Trust
					JOB NUMBER	PROJECT
					239541	Grand Pavillion, P
					TITLE	
P01	09/05/2022			Front Elevation Repairs	South Elev	ation Repairs I of 2
REV	DATE	ΒY	СНК	DESCRIPTION		•



Refurbish clocks and associated mechanisms. Specialist conservator to conserve/repair entablature/lettering

Remove ply to dormer window aperture

timber circular window. South dormer

- Refurbish existing cast iron rainwater



LEGEND New ventilated zinc/terne-coat seam roofing over void formed breather membrane, and 150m New zinc/terne-coated stainles coping/flashing New Code 6 lead flashing Clerestorey windows to audite overhauled, repaired and enca within repaired frames - allow resin repairs. Decorate in micr Clean down staining from rain Remove existing masonry pain technique (TBC in conjunction and investigate concrete spallir repairs. Carry out localised co corrosion inhibitor and repair in SEng information

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P01 09/05/2022 Front Elevat REV DATE BY CHK DESCRIPTIO	tion Repairs South		SIZE SCALE LAST REVISED E AIL I:50 09/05/2022 E REV SUITABILITY/REASON FOR ISSUE E P01.01 S0 - Work In Progress DRAWING NUMBER Z39541-PUR-01-ZZ-DR-A-215 Old Police Station, 6 St Peter's Court, Bedminster Parade,	s PURCELL





North Elevation Repairs I of 2

NOTES

GENERAL

This drawing is to be read in conjunction with the relevant contract preliminaries, drawings, and specifications. For work required, refer to legend for general areas and Structural Engineer's information for all structural and temporary works.

DETAILS

Where noted and generally, refer also to detail drawings.

STRUCTURE Further review of all issues and repairs is required. This information is to be read in conjunction with the Structural Engineer's information and updated as necessary. Where relevant, structural review/repairs are noted but do not replace the structural engineer's review and information.

LIGHTNING PROTECTION

A new lightning protection system is to be designed and installed by specialist contractor. System to consider the utilisation of the cupola finial and tape runs are to be within the roof building up or continuity maintained between roof sheets.

ELECTRICAL

Intrusive electrical infrastructure is to be isolated and removed. See MEP engineer's information as to replacement units. ROOFING

Allow to remove all single-ply roofing and any latent bituminous covering to dome, dormers, and ribs - structural repairs to dome as SEng information. Roofing to be either zinc (natural finish) or terne-coated stainless steel and is to be confirmed with relevant authorities.

All zinc/terne-coated stainless steel roofing noted to the dome and surrounding upstands is to be strictly as the manufacturer's details. All lead work noted to be replaced is to be confirmed by specialist contractor) as a phase of enabling w done so in strict accordance with the recommendations the Lead Sheet Training Academy inspection of structural defects. Once repaired to SEng spec guidance and under the terms of the Lead Contractor's Association 25yr guarantee. Leadwork to be a minimum of Code 5 and, where necessary/noted, of increased weight. All leadwork removed remains the property of the employer as NBS H71/586. Should any RAINWATER GOODS hotworks be required to implement these works, the contractor must obtain permits from the relevant authorities e,g. Cadw and ACT and comply with any guidance/requirements.

Allowance is to be made to remove temporary plywood and single-ply covering to 4no round-top dormers and install new circular timber windows with double glazed units.

FINIAL Damaged finial is stored at the Pavilion. Allow to conserve and repair by specialist contractor and re-instate to cowl to fixing as SEng design.

TIMBER All new timber to be hardwood. Species TBC. Where noted, decayed timber to be replaced with new sections of matching profile spliced in to existing members min. 100mm in to sound timber. All timber to be decorated in appropriate finish.

CLOCK TOWER Allow to refurbish clock faces and associated mechanisms. conserve/repair entablature and lettering.

CLEANING & DECORATION

Allow to clean concrete to south (front) elevation using TO decorated in appropriate breathable finish.

Allow to refurbish extant cast-iron hoppers and renew miss associated swan-necks, joints, brackets, and shoes in Aluma new RWGs in addition to existing provision. Decorate in R

GATES Allowance to be made to renew timber gates to East and V each side 1.5x1.8m of 100x100 timber.

FIXINGS All new fixings to be Grade 316 stainless steel.

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Drawings are based on survey data and is physically present.	may not accurately represent what
Do not scale from this drawing. All dime before proceeding with the work.	ensions are to be verified on site
All dimensions are in millimeters unless	noted otherwise.
Purcell shall be notified in writing of any	discrepancies.

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09/05/2022 DATE BY C	Rear Elevation Repairs CHK DESCRIPTION	CLIENT Awen Cultur JOB NUMBER 239541 TITLE North Elevan	ral Trust PROJECT Grand Pavillion, Porthcawl tion Repairs 1 of 2	POI.OI SO - WO	LAST REVISED DRAWN CHECKED 09/05/2022 ASON FOR ISSUE ork In Progress -ZZ-DR-A-2152	

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NOTES

GENERAL

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DETAILS

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STRUCTURE

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LIGHTNING PROTECTION

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ELECTRICAL

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Allow to remove all single-ply roofing and any latent bituminous covering to dome, dormers, and ribs - structural repairs to dome as SEng information. Roofing to be either zinc (natural finish) or terne-coated stainless steel and is to be confirmed with relevant authorities.

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Allowance is to be made to remove temporary plywood and single-ply covering to 4no round-top dormers and install new circular timber windows with double glazed units.

FINIAL Damaged finial is stored at the Pavilion. Allow to conserve and repair by specialist contractor and re-instate to cowl to fixing as SEng design.

TIMBER All new timber to be hardwood. Species TBC. Where noted, decayed timber to be replaced with new sections of matching profile spliced in to existing members min. 100mm in to sound timber. All timber to be decorated in appropriate finish.

CLOCK TOWER Allow to refurbish clock faces and associated mechanisms. conserve/repair entablature and lettering.

CLEANING & DECORATION

Allow to clean concrete to south (front) elevation using decorated in appropriate breathable finish.

Allow to refurbish extant cast-iron hoppers and renew mis associated swan-necks, joints, brackets, and shoes in Alum new RWGs in addition to existing provision. Decorate in F

GATES Allowance to be made to renew timber gates to East and V each side 1.5x1.8m of 100x100 timber.

FIXINGS All new fixings to be Grade 316 stainless steel.

08/06/2022 18:26:14 Notes: Drawings are based on survey data and may not accurately represent what is physically present. Do not scale from this drawing. All dimensions are to be verified on site before proceeding with the work. All dimensions are in millimeters unless noted otherwise.

New ventilated zinc/terne-coated stainless steel standing seam roofing over void formed by 50x100 battens, breather membrane, and 150mm rigid insulation out localised repairs to fixing holes and allow to redecorate embed works to allow the full secification, concrete to be New zinc/terne-coated stainless steel parapet coping/flashing New zinc/terne-coated stainless steel parapet hack off render where crazed, renew finish and allow to decorate minimized coorate New Zode 6 lead flashing New Code 6 lead flashing Clerestorey windows to auditorium to be inspected, overhauled, repaired and encapsulated in toughened glass within repaired frames - allow 50%, new timber and 20% resin repairs. Decorate in microporous finish Clean down staining from rainwater and redecorate Clean down staining from rainwater and redecorate Remove existing cable tray and bulkhead lighting. Allow to fill any fixing holes and decorate Code News curve the existing lighting and replace with new fittings Remove existing corroded surface mounted cabling to conceal. Remove the existing lighting and replace with new fittings Code News curve the existing lighting and replace with new fittings Remove existing corroded surface mounted trunking from rainwater and redecorate Remove existing corroded surface mounted trunking from rainwater and redecorate Remove existing corroded surface mounted trunking from rainwater and repearies to our the existing lighting and replace with new fittings Semo the existing lighting and replace with new fittings News carchways, approx. 2no Clean down stainin			corrosion inhibitor and repair in SEng information	build-up as recommended	proposed scheme - these element	client Awen Cultura	I Trust ROJECT	
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nicroporous stained finish

nove existing fencing/ bird wire and make good

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ow for 18no. walk over ground recessed LED ighters with circular covers

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East Elevation Repairs

NOTES GENERAL

drawings, and specifications. For work required, refer to legend for general areas and Structural Engineer's information for all structural and temporary works.

DETAILS

STRUCTURE Further review of all issues and repairs is required. This information is to be read in conjunction with the Structural Engineer's information and updated as necessary. Where relevant, structural review/repairs are noted but do not replace the structural engineer's review and information.

LIGHTNING PROTECTION

System to consider the utilisation of the cupola finial and tape runs are to be within the roof building up or continuity maintained between roof sheets.

ELECTRICAL

information as to replacement units. ROOFING

Notes:	08/06/2022 18:26:27
Drawings are based on survey data and i is physically present.	nay not accurately represent what
Do not scale from this drawing. All dime before proceeding with the work.	nsions are to be verified on site
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09/05/2022			East Elevation Repairs	East Elevat	tion Repairs
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Purcell shall be notified in writing of any discrepancies.

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West El	evation	Repairs
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Old Police Station, 6 St Peter's Court, Bedminster Parade, BS3 4AQ

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DETAILS

Drawings are based on survey data and may not accurately represent what is physically present.

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STRUCTURE Further review of all issues and repairs is required. This information is to be read in conjunction with the Structural Engineer's information and updated as necessary. Where relevant, structural review/repairs are noted but do not replace the structural engineer's review and information.

LIGHTNING PROTECTION This drawing is to be read in conjunction with the relevant contract preliminaries, drawings, and specifications. Refer to Structural Engineer's information for all

ROOFING

sheets.

Roofing to be either zinc (natural finish) or terne-coated stainless steel as be confirmed with relevant authorities.

All zinc/terne-coated stainless steel roofing noted to the dome and surro upstands is to be strictly as the manufacturer's details. All lead work note replaced is to be done so in strict accordance with the recommendation Lead Sheet Training Academy guidance and under the terms of the Lead

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PRELIMINARY

& SUBJECT TO FURTHER INVESTIGATIONS & REVIEW WITH STRUCTURAL

ENGINEER'S DETAILS





NOTES 08/06/2022 18:47:27 Drawings are based on survey data and may not accurately represent what structural and temporary works. is physically present. DETAILS Do not scale from this drawing. All dimensions are to be verified on site Where noted and generally, refer also to detail drawings. before proceeding with the work.

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STRUCTURE Further review of all issues and repairs is required. This information is to be read in conjunction with the Structural Engineer's information and updated as necessary. Where relevant, structural review/repairs are noted but do not replace the structural engineer's review and information.

LIGHTNING PROTECTION A new lightning protection system is to be designed and installed by spec This drawing is to be read in conjunction with the relevant contract preliminaries, drawings, and specifications. Refer to Structural Engineer's information for all sheets.

> ROOFING Roofing to be either zinc (natural finish) or terne-coated stainless steel a be confirmed with relevant authorities.

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PRELIMINARY

& SUBJECT TO FURTHER INVESTIGATIONS & REVIEW WITH STRUCTURAL ENGINEER'S DETAILS